



**Development Control Committee A – 4 September 2019**  
**Application No. 19/02349/F : 22A Islington Road Bristol BS3 1QB**

## **SUMMARY**

The application relates to a property known as 22a Islington Road in Southville ward, south Bristol. It is a two storey building with single storey extensions located on the corner of Islington Road, opposite terraces on Allington Road. It is currently vacant, however the most recent use of the property is for employment uses (Use Class - B2 General Industrial).

The site is within Bedminster Conservation Area and is on the Bristol Local List in recognition of its heritage value.

The application proposes to demolish all existing buildings on the site and construct a two storey 3no. bedroom dwelling. The dwelling would be of a contemporary, industrial style and would be smaller than the existing building in terms of height, scale, massing and footprint.

The application was initially made in November 2017. Following the submission of amendments to the proposals in February 2018, it was considered by Development Control (DC) Committee B on 25 April 2018. The Committee resolved to defer the application to allow the case officer to seek further amendments to the roof of the scheme, due to concerns that the dwelling as proposed would result in unacceptable loss of light and amenity to neighbouring gardens. In response to this the applicant submitted revised plans that were considered by DC Committee B on the 15th August 2018. Despite being recommended for approval by the Case Officer, the Committee refused the application for the following reason:

"The design of the roof as proposed would lead to unacceptable overshadowing of surrounding residential properties and would therefore have a detrimental impact on residential amenity, contrary to Core Strategy Policy BCS21 (Quality Urban Design) and Policies DM26 (Local Character & Distinctiveness) and DM27 (Layout and Form) of the Site Allocations and Development Management Policies (Adopted July 2014). For this reason, the design would also lead to harm to this part of the Bedminster Conservation Area contrary to Core Strategy Policy BCS22 (Conservation and the Historic Environment) and Policy DM31 (Heritage Assets) of the Site Allocations and Development Management Policies (Adopted July 2014)".

Given that the sole reason for refusing the previous proposal related to the design of the roof and the impact on the surrounding properties, the applicant has sought in the current submission to address this issue by proposing the following amendments:

- o The height, scale, bulk, massing and footprint of the proposed building have all been reduced to further reduce any impact on the neighbouring properties

The application has been brought to Committee for the proposed amendments to be considered and also because since the last application the partner of the applicant has become an employee of Bristol City Council.

There has been neighbour objection to the scheme, relating primarily to the design, impact on heritage assets, loss of employment space and the impact on neighbouring residential amenity.

Officers in the City Design Group, Transport Development Management, Pollution Control and Land Contamination have been consulted during determination of the scheme and have ultimately raised no objection, subject to securing further detail via planning conditions.

On balance, officers have concluded that while the proposed development would result in harm to heritage assets, this is less than substantial and does not warrant refusal of the scheme. The benefits of the scheme are believed to outweigh this harm and include bringing a vacant site into use, securing

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an additional unit of housing and delivering a distinctive, high quality design. Impacts on neighbouring amenity have been carefully considered and the scheme revised to minimise any unacceptable harm.

It is concluded that the proposed development would be less than significantly harmful, particularly given the existing context and constraints of the site.

Officers recommend that planning permission is granted for the proposed development, subject to planning conditions.

## **SITE DESCRIPTION**

The application relates to a property known as 22a Islington Road in Southville ward, south Bristol. It is situated on the south-east corner of Islington Road on the northern side of the street. Its south and east elevations form a direct frontage onto the pavement. The building is detached, however it shares a boundary with 22 Islington Road to the west and 37, 39 and 41 Allington Road to the north.

The site is comprised of a main two storey detached building with an asymmetrical hipped roof. It has a single storey flat-roofed extension to the west which runs along the boundary with No. 22 Islington Road and which forms a main entrance from the street. To the rear of the site is a large single storey lean-to extension which meets the side extension, such that almost the entire footprint of the site is built upon, with the exception of a small section of the north-west corner.

There is vehicular access to an integral garage/store to the east elevation of the site and a corresponding dropped kerb. The main building is finished in render with a red tiled roof, though exposed brick is visible on the northern elevation. The single storey extension roof is constructed of corrugated metal sheeting. The fenestration on the site is predominantly timber casement windows, although notable are the large black painted timber garage and warehouse doors on the east elevation. There is modern uPVC (or similar) glazing to the single storey side extension.

The building is located just within the boundary of the designated Bedminster Conservation Area and is identified as an 'unlisted building of merit' within the Conservation Area Character Appraisal (adopted December 2013). The building was subsequently included within the Bristol Local List (ID: 212), added in September 2015, which identifies local heritage assets outside of formal designation (e.g. Listed Buildings). It is believed to have been built in the 1880s.

The historic use of the site is for commercial/light industrial use. The last known use of the site was as a printing press under Use Class B2 - General Industrial. The site has been vacant since 2013.

The area surrounding the site is of predominantly residential land use and is characterised by rows of Victorian two storey terraces. The typical layout of the terraces is such that the rear gardens back onto each other and the rear elevation of dwellings are opposite one another with relatively small distances in between (typically less than 15m). Within this context, the detached siting of 22a Islington Road is atypical and it does not form part of the terrace further west, which begins from 30 Islington Road.

The immediate neighbour west of the site, 22 Islington Road, is also atypical being of three storey height and forming a semi-detached pair. The topography of the area is such that the Allington Road terrace is located at a lower level relative to the buildings on the north side of Islington Road. Due to raised foundations, the terraces on the south side and east corner of Islington Road are further elevated relative to the north of the road and the application site.

The architectural style of the area is fairly mixed, with various styles present in nearby terraces, however common features are pitched roofs, bay windows, exposed stonework and front boundary walls. There is little off street parking in the area.

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Beyond the immediate residential surroundings, the site is located close to local services, facilities and bus stops located on East Street and North Street, while the city centre is also within reasonable walking or cycle distance. Public open space at Greville Smyth Park and Victoria Park are also in the proximity of the area.

### **RELEVANT HISTORY**

17/06582/F- Demolition of existing buildings and erection of a single dwelling REFUSED August 2018  
15/02956/PREAPP - Proposed redevelopment of the site (including demolition of existing building) to provide a new dwelling. Response received November, 2015.

14/04407/F - Demolition of existing two storey building and single storey extensions, erection of three storey dwelling and single storey garage for one vehicle. WITHDRAWN, October 2014.

03/04489/P - Outline application for demolition of existing workshops and residential development. WITHDRAWN, January 2004.

85/01197/E - Workshop for light industrial use and office accommodation ancillary to that use. REFUSED, September 1985.

### **APPLICATION**

The application seeks permission to demolish all existing buildings on the site and construct 1no. three bedroom dwellinghouse.

The dwelling would be predominantly two storeys in height, however it would include single storey elements to the west and north east boundaries, with a flat and mono-pitched roof respectively. The main two storey element of the building would have an asymmetric roof; with a gable end to the west and hipped to the east.

The new dwelling would echo the existing layout with a south and east facing frontage onto Islington Road. The dwelling would represent an overall reduction in the footprint of buildings on the plot, with an increased area of private garden to the north-west corner of the site.

The maximum ridgeline height of the proposed roof in relation to that of the existing building will be reduced by approximately 0.5m but the single storey rear extension is proposed to feature a flat roof element that will see a slight height increase of approximately 20cm along the boundary with the property to the rear known as 37 Allington Road. With the exception of the small flat roof element, the massing of the building has been reduced to sit within the existing building outline but with a lower roof height; as such, any overshadowing is considered to be less or at most equal with that created by the existing building.

First floor windows on the north and east elevations will all be obscure glazed and so there will be no additional overlooking to the rear elevations and gardens properties fronting Allington Road. In addition, a 1.8m fence will be erected along the boundary line to further restrict views across the surrounding properties. The dwelling would be of a modern, industrial style featuring standing seam metal roofing, aluminium fenestration and cream/buff brick walls.

The new dwelling would not have off-street parking. An enclosed cycle store for 2no. bikes and a courtyard refuse store would be provided in the north-east corner of the site, accessed via a metal mesh door on the east elevation.

Photovoltaic panels would be installed on the southern roof slope of the building.

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## **RESPONSE TO PUBLICITY AND CONSULATION**

### NEIGHBOUR CONSULTATION

17 responses were received consisting of 9 objections, 3 representations and 1 letter of support

- o Scale of proposals and subsequent impact with regards to light, overbearing and privacy for neighbouring occupants.
- o Visual impact on Conservation Area and street scene
- o Unjustified loss of an 'unlisted building of merit' within a Conservation Area.
- o Unjustified change in land use and loss of existing employment site.
- o Design and materials out of keeping with surrounding Victorian terraces
- o Noise from garden
- o Increased pressure on parking in the area
- o Lack of case for change to residential use
- o Construction impacts [Case officer note: impacts of construction cannot form part of the assessment of a proposed development for planning consent]
- o Inaccurate or unclear plans [Case officer note: revised plans to correct an error on the north elevation drawing concerning the height of the proposed rear extension were requested and provided by the applicant]

### AMENITY GROUPS

BS3 Planning Group - Objection:

Their submission makes much of the building being unfit for commercial occupation in its current condition. That may be the case however: 1. It is also, therefore, unfit for residential occupation 2. It was fit for occupation when the last occupant left but has been held empty since and undoubtedly deteriorated. It was offered To Let in a condition that was never going to attract occupiers.

From the 2015 Structural Report:

From the inspection that has been carried out it is clear that the building at 22a Islington Road has ongoing Structural issues which were present prior to the current owners purchasing the property and which are worsening. Issues of this type are not uncommon with buildings of this age but prior to any future use of the property, these Structural issues will need to be addressed

The report does not suggest demolition as the solution, but that there were extant issues requiring attention, and it was deteriorating. Four years of physical inaction have potentially only made that worse, but it cannot be supportable to allow an owner to simply allow a heritage asset to deteriorate to or beyond the point of repair and then be rewarded by consent to demolish it. It was purchased in the knowledge that it required (immediate) attention and the recent planning history here and engagement with the community has made it very clear from the start to the applicants that there was strong local resistance to their wish to demolish.

We do not believe that the case for there being no demand for commercial/ workshop space in this location is made and it is fully undermined by RRB Publishing recently taking occupation at 39a Islington Road. Amongst our group we are aware of at least one local who takes studio space elsewhere in the City who would far prefer to take space in 22a to avoid the need for them to travel. This is an Unlisted Building of Merit within the Conservation Area. We believe that it was recorded as such when the applicant bought it, hence they bought it in full knowledge of the restrictions that were likely to apply to any attempt at substantial alteration. Whilst the proposals as presented are the least objectionable of the several to date we stand firm in our belief that this building is capable and worthy of sensitive refurbishment/restoration and that commercial/studio occupiers are evidenced as having local unmet demand.

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INTERNAL CONSULTEES

City Design Group: No objection.

Both the Urban Design and Conservation sections of the City Design Group were consulted through the surgery process during the determination of this application. Conditions in relation to previous proposal remain applicable

Transport Development Management: No objection

Public Protection (Land Contamination): No objection

The applicants are referred to the following  
Bristol Core Strategy - BCS23 Pollution  
Local Plan DM34 Contaminated Land  
National Planning Policy Framework (2018) Paragraphs 118, 120, 170, 178, 180  
Planning Practice Guidance Note <https://www.gov.uk/guidance/land-affected-by-contamination>  
<https://www.bristol.gov.uk/planning-and-building-regulations-for-business/land-contamination-for-developers>

Our comments remain unchanged from the previous applications.

The proposed development is sensitive to contamination and is situated on or adjacent to land which has been subject to land uses which could be a potential source of contamination. The existing building dates from c1880 when it is believed to have been a coach house. During the twentieth century the property held a variety of uses including a liquid coffee manufacturers in the 1930's and 1940's, an electrical washing machine manufacturers in the 60's and a paint merchants in the 1970's.

Whilst this is a minor application a risk assessment is required because of the potential risks identified. A minimum of a phase 1 desk study looking into contamination must be submitted to the local planning authority and where deemed necessary a phase 2 intrusive investigation shall take place. If any information is already prepared submission prior to determination is encouraged to reduce the burden of pre-commencement conditions.

If not available it is recommended the standard conditions B11, B12, B13 and C1 are applied to any future planning consent.

Pollution Control: No objection

Condition relating to Demolition Management Plan advised

RELEVANT POLICIES

National Planning Policy Framework – February 2019  
Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017 and the Hengrove and Whitchurch Neighbourhood Development Plan 2019.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

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KEY ISSUES

(A) IS THE PRINCIPLE ACCEPTABLE IN LAND USE TERMS?

The proposed development seeks to change the use of the site from Use Class B2 - General Industrial to Use Class C3 - Residential. The last known active use of the site for B2 use ended in 2013; it has been vacant since this time.

There are two key considerations in assessing the proposed development in land use terms. First, it must be determined whether the loss of the existing employment use is acceptable. Second, the suitability of the site for residential use must be assessed. These assessments will be made in turn.

Policy BCS8 of the Core Strategy (2011) requires that employment land outside of Principle Industrial Warehousing Areas is retained where it makes a valuable contribution to the economy and employment opportunities. The policy highlights the value of employment sites close to where people live and the difficulty in replacing employment sites when lost through redevelopment for alternative uses.

Policy DM12 of the Site Allocations and Development Management Policies document (SADMP, 2014), provides detail to this approach, setting out the specific instances when loss of employment land will be permitted.

DM12 states that employment sites should be retained for employment uses unless it can be demonstrated that:

- (i) There is no demand for employment uses; or
- (ii) Continued employment use would have an unacceptable impact on the environmental quality of the surrounding area; or
- (iii) A net reduction in floorspace is necessary to improve the existing premises; or
- (iv) It is to be used for industrial or commercial training purposes.

With regards to the current application, only points (i) and (ii) of policy DM12 are relevant, as the application does not seek a reduction in floorspace to improve the existing premises nor proposes an industrial or commercial training use.

In order to satisfy the requirements of policy DM12, the onus is on the applicant to demonstrate that either there is not demand for employment uses or that continued employment use would have an unacceptable impact on the environmental quality of the surrounding area.

The applicant has not provided any evidence to support a claim that continued employment use would have an unacceptable impact on the environmental quality of the surrounding area as per criteria (ii) of policy DM12. Subsequently, the applicant is reliant on their assertion that the loss of the existing B2 use is supported through criteria (i) of policy DM12, namely that there is no demand for employment uses. It is a requirement of the policy that evidence is submitted to demonstrate that the site has been adequately marketed for employment uses.

The applicant disputes that the existing site constitutes 'valuable' employment space.

They provide an assessment which cites the following reasons for the site failing to be an attractive prospect for potential occupiers in continued B2 use:

- Poor state of repair and a lack of modern features and facilities
- Isolation from other employment uses and close proximity to residential use
- Lack of off-street parking and servicing facilities
- Disjointed layout and floorspace

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In accordance with the requirements of policy DM12, the applicant has submitted evidence that the site was unsuccessfully marketed for continued employment use. A statement from ETP Property Consultants submitted during the previous application demonstrated that the property was unsuccessfully marketed for continued employment use for over the minimum required period of 6 months, as set by Bristol City Council guidelines. ETP, in assessing the lack of interest in the site during this time, concluded that the poor condition and accessibility of the site, as well as availability within the market of more suitable properties, are factors in reducing demand for the site for employment use.

Following a second period of marketing from May 2017, it was stated that over 50 enquiries were received, largely relating to potential C3 use of the site, however two offers to purchase the property did not progress. Following case officer request during the previous application, further detail of the offers made was provided by ETP, confirming that the majority of offers made were for proposed C3 use. It also further detailed that the two offers made to purchase the property were for B1 (business) use, however they did not progress following the failure to reach an overage agreement, which ETP concluded was an indication that the prospective buyers were intending to ultimately change the use of the building to C3 residential.

In assessing the proposed development against the requirements of policy DM12, it is considered that there is sufficient evidence to conclude that there is not demand for the continued employment use of the site. It is recognised that the site has been vacant for four years and is in a poor state of repair, as evidenced by the structural report submitted by the applicant. It is also recognised that the site is constrained for employment use given its location within a residential area with limits to accessibility and parking. It is considered that the evidence supplied by the applicant with regards to the marketing of the site is adequate in demonstrating that there is a lack of genuine demand for the site as an employment site. On balance, it is considered that the loss of the B2 use is acceptable.

An accepted loss of the B2 use does not preclude that residential use is acceptable and requires a further assessment.

Policy BCS5 states that the development of new homes will primarily be on previously developed sites across the city, with particular focus on delivering homes within south Bristol.

Policy BCS20 encourages the efficient use of land, and sets out that higher densities of development will be sought close to centres and along or near main public transport routes.

The application site is located in an area with a strong residential character. It is located 0.6 miles from Bedminster Parade to the east and 0.6 miles from North Street to the west, which are designated as a town centre and district centre respectively in the Core Strategy (2011). The city centre of Bristol is within reasonable walking or cycle distance and provides a wide range of employment, leisure and service facilities.

Bus routes from North Street and Bedminster Parade serve the city centre, while Bristol Temple Meads train station is 1.3 miles away.

It is considered that the proposed residential use would be appropriate in this location and would accord with policy objectives to locate new homes on previously developed land and close to centres and public transport routes. It is considered a sustainable location for a new dwelling which would contribute to overall targets for new homes both within south Bristol and the city as a whole.

In summary, the loss of the existing employment use is on balance considered to be acceptable and the proposed change of use to residential is concluded to be acceptable

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**(B) IS THE PROPOSED DEVELOPMENT ACCEPTABLE IN DESIGN TERMS?**

Policy BCS21 of the Core Strategy is the overarching design policy which promotes high quality design across the city. The policy requires development to contribute positively to an area's character and safeguard the amenity of existing development and future occupiers.

The adopted development management policies reinforce this requirement, with reference to local character and distinctiveness (Policy DM26), layout and form (Policy DM27) and design of new buildings (Policy DM29). This section of the report considers how the proposed development responds to the requirements of these design policies.

Policy DM26 states that development will not be permitted where it would be harmful to local character and distinctiveness. The policy states that development should respond appropriately to the height, scale, massing, shape, form and proportion of existing buildings, including skylines and roofscapes. The policy sets out that while reproducing existing designs of development may be appropriate, there is also scope for innovative and contemporary design solutions where they would complement existing development.

Policy DM27 concerns the layout and form of development. The policy states that the height, scale and massing of development should be appropriate to the immediate context, character of adjoining streets and location within the townscape. Building lines should be consistent and coherent.

Policy DM29 sets out the expectations of the design of new buildings, which will be expected to be of a high quality and a coherent rationale. It states that they should respond appropriately to their function and role in the public realm, employ high quality materials and contribute positively to the character of the area

In considering the design aspect of the proposed development, it must be recognised that the existing building is of a scale, siting and architectural style that is in contrast to the surrounding built environment. Features of the building that are not found in the surrounding area include its detached siting, its asymmetric hipped roof and direct frontage onto the street.

It must also be recognised that while the building is of sufficient character and historic significance to be labelled as an 'unlisted building of merit' within the Bedminster Conservation Area, it is in a poor state of repair and currently the site does not make a significantly positive visual contribution to the street scene or character of the area, particularly given its prominent corner location.

The City Design Group (CDG) within Bristol City Council has been consulted with during the determination of this application, including the Conservation section. With regards specifically to the design, the CDG have raised no objection subject to securing further details by condition. Their comments are reflected in the remainder of this section, while the impact of the development in conservation and heritage terms is specifically addressed in Key Issue C.

**i) Overall design approach**

It is considered that the proposed rationale of the scheme, which seeks a contemporary, industrial approach to the design, is an appropriate response to the historic use of the site for employment use. The existing site has a limited architectural relationship to the surrounding Victorian terraces, such that there does exist an opportunity for an innovative and contemporary design approach to enhance the character and distinctiveness of the street, as set out in policy DM26.

Furthermore, the aspiration of the applicant to maintain unique character features of the existing site within the contemporary design is welcomed, including retaining its detached siting, direct street frontage, hipped roof to the east elevation and industrial character. The overall approach to the design of the new building is supported in accordance with policy DM29, subject to the details of the proposal

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being acceptable with regard to scale, massing, form, siting and materials as per the requirements of policies DM26, DM27 and DM29.

ii) Layout

The proposed development would be of a detached siting and a layout which broadly accords with that of the existing site, retaining the direct street frontage to the south and east elevations and an area of private open space to the north-west corner.

The proposed development would represent a reduced footprint of built form on the site to allow an increase in outdoor amenity space to the rear. The dwelling would not contravene established building lines on the street, including the angled two storey element of the design at the rear, which would align with and not exceed the rear building line of No.22.

With regards to layout and siting, it is considered that the proposed new dwelling would not represent a significant departure from the existing site. It would be appropriate within the immediate context and would be contained within established building lines. This accords with policy DM27.

iii) Scale, massing and form

In response to the previous reason for refusal, the scale massing and form of the overall building has been reduced to limit the impact of the roof on the surrounding properties in terms of overshadowing and overbearing impact. The revised roof design and reduction in mass closely resemble the form and character of the existing building and are considered appropriate in design terms. While it is recognised that the rear single storey flat roof extension represents a very slight increase in the scale and massing of the new dwelling, it must also be noted that the vast majority of the proposals would be contained within the existing envelope and footprint of the site, with the drop in levels actually reducing the ridge line height of the proposed roof of the main section of the building.

It is considered that the proposed development would be of a scale and massing that does not represent a significant departure from the existing site and which would not result in substantial harm to the appearance and character of the area. This accords with policy DM26 and DM27.

iv) Materials and design details

Policies BCS21 and DM29 require that development is of a high quality. Given the location of the dwelling within a conservation area and the associated loss of an unlisted building of merit, the CDG places additional emphasis on the requirement to achieve a high-quality finish and secure the use of good quality materials and design details.

Following a request for further information, the applicant has specified the types of materials proposed for the building and has supplied precedent images. Details of the window reveals have been provided and comply with the request from CDG that this is at least 100mm to ensure an appropriately articulated elevation.

It is considered that sufficient information has been provided at this stage to provide confidence that the development would be of a satisfactory and high-quality finish to meet the objectives of policies BSC21 and DM29. However, it is proposed that conditions will be attached to any forthcoming consent to require the applicant to submit further details of the design and materials for approval prior to development.

In summary, the design of the proposed development is found to be acceptable. It is considered that the applicant has demonstrated a coherent design rationale and has taken an appropriate opportunity to introduce a contemporary and innovative design which would contribute to local distinctiveness. The overall siting, scale and massing of the development is appropriate and would not amount of significant harm to the character of the surrounding area. The proposed development is in accordance with the aims of policies BCS21, DM26, DM27 and DM29.

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**(C) WOULD THE PROPOSED DEVELOPMENT RESULT IN UNACCEPTABLE HARM TO HERITAGE ASSETS?**

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to have special regard to the desirability of preserving or enhancing the character or appearance of the conservation area. The case of *R (Forge Field Society) v Sevenoaks DC* [2014] EWHC 1895 (Admin) ("Forge Field") has made it clear where there is harm to a listed building or a conservation area the decision maker "must give that harm considerable importance and weight." [48].

Section 16 of the National Planning Policy Framework (NPPF) 2019 states that in determining planning applications, local planning authorities should take account of the desirability of sustaining and enhancing heritage assets, and the desirability of new development to make a positive contribution to local character and distinctiveness. It also states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, with any harm or loss requiring clear and convincing justification.

Paragraph 194 of the NPPF states that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Further, Paragraph 200 states that local planning authorities should look for opportunities for new development within conservation areas and within the setting of heritage assets to enhance their significance and that proposals which preserve these elements should be treated favourably. Paragraph 197 states that in weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

There are two heritage assets of relevance to the proposed development. The first is the Bedminster Conservation Area, in which the site is located. This is a designated heritage asset.

Policy BCS22 states that development proposals will safeguard or enhance heritage assets and their character and setting. This includes conservation areas and historic buildings, including those locally listed.

Policy DM31 sets out that where a proposed development would impact the significance of a heritage asset (including those locally listed) the applicant will be required to justify the extent of proposed works and demonstrate how the features of the heritage asset and the local character of the area will be retained.

The site is identified as an 'unlisted building of merit' within the conservation area in the Bedminster Conservation Area Character Appraisal (adopted December 2013), however no description or reference is made to its significance within the document. It is situated on the boundary of the conservation area; much of the remainder of Islington Road is not within the conservation area, including the adjacent dwelling at No.22.

Within the conservation area, the site is located in the Stackpool Road character area, which is noted for its 'tightly packed Victorian terraces' and 'architectural uniformity'. Negative features are noted as loss of front boundaries, loss of traditional architectural details and the poor condition of some buildings.

The second heritage asset is the existing building of 22a Islington Road, which is included within the Bristol City Local List of heritage buildings. This does not constitute a designated heritage asset and subsequently, while this must be taken into account in determining the planning application (National Planning Policy Framework, paragraph 197), it carries less weight than a designated heritage asset such as the conservation area.

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The application seeks permission for the demolition of the existing buildings at 22a Islington Road and subsequently, the loss of a locally listed building within a conservation area. The applicant is therefore expected to meet the requirements of policy DM31.

The submitted Structural Inspection Report identifies that the existing vacant site suffers from significant structural problems and would require extensive works to enable the re-use of the building. The required works would result in the loss of historic fabric and would have significant costs, rendering the re-use of the site unviable financially while still having substantial harmful impact on the heritage asset. The applicant subsequently states that the full demolition of the building is required to secure a viable long term use of the site.

The Heritage Report submitted by the applicant recognises that the demolition of the existing building would have a substantial negative impact on its individual heritage significance, however asserts that the primary issue for consideration is the impact of the development on the conservation area, the designated heritage asset. The report states that the design of the new dwelling is intended to reflect the scale and massing of the existing site, while also retaining its character as an unusual and distinctive building within the street scene. It concludes that while the proposed development may have a slight, negative impact on the Bedminster Conservation Area, this does not amount to substantial harm.

In considering the proposed harm to heritage assets, the Conservation section of the City Design Group has been consulted with. The CDG has reviewed the information submitted by the applicant and accepts that there does exist sufficient justification for the loss of the building.

It is recognised that the building is currently in a poor state of repair and does not contribute in a significantly positive manner to the character and historic significance of the conservation area. It is considered that the structural report does sufficiently evidence that to attempt to retain the existing building would impact viability of development and may not present substantial benefits with regard to heritage, given the amount of historic fabric that may be required to be lost through renovation works. Furthermore, given that the site (as a non-designated heritage asset) is ascribed less weight under national policy, it is considered that the public benefit of finding a viable use for a vacant site in a sustainable urban location outweighs the harm caused by the loss of the building.

With regards to the conservation area, it is considered that the loss of an existing 'unlisted building of merit' does in principle constitute harm to the significance of a designated heritage asset. However, a balanced assessment also identifies several mitigating factors which it is considered result in this harm being less than substantial.

First, it is noted that the existing building is in a poor state of repair and does not share the characteristics of the conservation area which contribute to its significance. The Stackpool Road character area is identified as significant on account of its uniform Victorian terraces and architectural details associated with these. 22a Islington Road is not of this character, and its significance is not otherwise noted in the conservation area appraisal. While the loss of the building will therefore have a significant local harmful impact in terms of the immediate street scene, its impact on the overall character of the Stackpool Road character area is considered less than substantial.

The site is located on the boundary of the Bedminster Conservation Area. Subsequently its visual impact on the heritage asset is limited to views from Allington Road and the eastern end of Islington Road; it is not a highly prominent historic feature or landmark within the conservation area. As such, it is considered that the loss of the unlisted building of merit would not amount to substantial harm to the overall significance or character of the designated heritage asset.

Finally, the proposed design of the new building has been found to accord with policy objectives regarding distinctive and high-quality design. The proposed design would retain several character

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features of the building particularly with regard to its siting, footprint, (partial) hipped and asymmetric roof form and industrial character. It is considered that the new dwelling would represent an enhancement to the existing street scene and subsequently the conservation area.

In summary, it is recognised that the proposed development requires the loss of an undesignated heritage asset (22a Islington Road) and would result in harm to a designated heritage asset (Bedminster Conservation Area). However, there is considered to be sufficient, evidenced justification for the proposed loss of the building and an associated public benefit of bringing a vacant site into use. On balance, it is concluded that the proposed development would result in less than substantial harm to the Bedminster Conservation Area which would not warrant refusal of the development. It is considered that the development is acceptable with regard to its impact on heritage assets and is in overall compliance with national and local policy.

**(D) WOULD THE PROPOSED DEVELOPMENT HAVE AN ACCEPTABLE IMPACT ON THE AMENITY OF NEIGHBOURING OCCUPIERS?**

Policy BCS21 of the Core Strategy requires new development to safeguard the amenity of existing residents.

Policy DM29 sets out that new development should ensure that existing and proposed development achieves appropriate levels of privacy, outlook and daylight.

The Building Research Establishment (BRE)'s guidance document 'Site Layout Planning for Daylight and Sunlight' sets out tests that can be carried out to determine if a proposed development will result in substantial loss of light to neighbouring dwellings or gardens.

The previous submission included a sunlight assessment study that demonstrated that there would only be limited impact on the internal living space of neighbouring dwellings, with increased shadow not extending to such an extent that habitable rooms would lose access to light. The sunlight assessment demonstrated that there would be some loss of light as a result of the development which would primarily impact the rear gardens of properties on Allington Road.

Given that the current submission will see a reduction in the height, scale, massing and bulk of the building it is not considered that a revised sunlight assessment is required in this instance as there cannot be any additional impact above and beyond that of the existing development. The slight increase in the height of the flat roof element rear extension (approximately 20cm) is not considered to result in any significantly additional detrimental impact to the current level of amenity awarded to the occupants of 37 Allington Rd in terms of overbearing impact or loss of daylight into the rear garden area.

Taking into account the overall reduction in the size of the building and roof form in comparison to the existing building, it is considered that the impact on the surrounding properties will be reduced by the proposed development in terms of overbearing impact and overshadowing.

It was not considered within the previous reason for refusal that there was an issue in relation to loss of privacy. In any event, the proposal has been amended to only include 2 no, first floor windows on the rear elevation, both of which are obscure glazed and so it is again not considered that there is any additional loss of privacy the surround properties in terms of overlooking as the proposed rooflights will be above head height level.

In terms of noise disturbance, objections have been received relating to increased noise from the outdoor amenity space of the proposed dwelling and subsequent impact on neighbouring dwellings. Again this was not considered significant enough to warrant a reason for refusing the previous application.

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The proposed outdoor terrace is located in the same position as the existing rear courtyard, although it is of a larger size. Given the residential nature of the area, and that the existing layout of the Allington Road and Islington Road properties is such that their rear gardens back onto one another, it is not considered that the use of the rear garden at No.22a would result in unacceptable impact to amenity through noise.

On balance it is considered that the proposal complies with the requirements of Policies BCS21 and DM29 in terms of the impact on the amenity of the neighbouring occupants.

**(E) WOULD THE PROPOSED DEVELOPMENT PROVIDE AN ACCEPTABLE LIVING ENVIRONMENT FOR FUTURE OCCUPANTS?**

BCS21 states that new development should provide a safe, attractive, usable and inclusive built environment which creates a high quality living environment for future occupants. This should include consideration of outlook, privacy, natural lighting, ventilation and indoor and outdoor space.

Policy BCS18 states that residential developments should provide sufficient space for everyday activities and to enable flexibility and adaptability by meeting appropriate space standards.

The relevant minimum space standards for new housing is contained in the Department for Communities and Local Government (DCLG) Nationally Described Space Standards for new housing published in March 2015.

The minimum space standard for a two-storey 3 bedroom dwelling according to this guidance is 102sqm. The proposed dwelling would exceed this requirement being 198sqm and therefore meets the required space standards.

The new dwelling would have a varied outlook, with fenestration to three elevations.. The occupants of the dwelling would have access to private outdoor space of a reasonable size. In summary, it is considered that the proposed development would provide a high quality living environment for future occupiers.

**(F) IS THE PROPOSED DEVELOPMENT ACCEPTABLE WITH REGARD TO TRANSPORT AND HIGHWAY SAFETY?**

Policy BCS10 of the Core Strategy states that development should promote sustainable transport choices.

Policy DM23 requires development to provide safe and adequate access to new developments.

The Transport Officer has confirmed that the lack of any proposed off street parking provision is appropriate given that the site is within a highly sustainable location close to main public transport routes.

Secure cycle storage for 2no. cycles would be provided in a cycle shed accessed from the east elevation. This provision meets the minimum requirements of policy DM23 and is acceptable. Refuse storage would be provided adjacent to the cycle store with direct access to the street for collection via a side door. This is considered acceptable by TDM. The installation and maintenance thereafter of the cycle and refuse stores would be controlled via condition.

**(G) DOES THE PROPOSED DEVELOPMENT ADEQUATELY MEET OBJECTIVES OF SUSTAINABILITY AND CLIMATE CHANGE?**

Policies BCS13 to BCS15 of the Bristol Development Framework Core Strategy forms a suite of

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planning policies relating to climate change and sustainability. It requires development to both mitigate and adapt to climate change. This includes new development to minimise its energy requirements, address issues of sustainable design and construction and also water management issues to reduce surface-water run-off. Policy BCS14 requires that development provides sufficient renewable energy generation to reduce carbon dioxide emissions from residual energy use in the buildings by at least 20%.

The proposed development would result in the reduction of CO2 emissions by 20% through on site renewables (PV panels) and the design of the building would incorporate energy efficiency measures. Further details relating to the installation of the PV panels would be secured via condition.

In summary, the proposed development is acceptable with regards to sustainability and climate change.

**(H) IS THE PROPOSED DEVELOPMENT ACCEPTABLE WITH REGARD TO CONTAMINATED LAND?**

Policy DM34 requires that new development should demonstrate that any existing contamination of land will be appropriately mitigated and that new development will not cause the land to become contaminated.

Given the industrial/commercial use of the existing site, Bristol City Council's Public Protection (Land Contamination) Officer was consulted on the proposed development.

The officer identified that the site is sensitive to contamination and subsequently, a risk assessment would be required prior to commencement of the scheme. This could be secured via condition if consent were forthcoming.

**CONCLUSION**

The application proposes to demolish a vacant industrial unit and construct a two bedroom dwelling in a sustainable location. In accordance with policy requirements, the applicant has provided sufficient evidence to justify the development in pure land use terms, in particular the loss of an employment site.

It is recognised that the site is of heritage value as a locally listed building within Bedminster Conservation Area. Subsequently, it is accepted that the proposed development does constitute a degree of harm to heritage assets. However, on balance, it is concluded that this harm would be less than substantial and does not warrant refusal of the scheme. Furthermore, the proposed development would be of a high quality, innovative design that it is considered would contribute to local distinctiveness and retain aspects of its character.

It is considered that the reduction in the overall height, scale, bulk and massing of the proposed in relation to the existing building on site has overcome the reason for refusing the previous application as the design of the roof structure is not considered to result in any additional overshadowing to the surrounding properties.

The development would provide a high quality living environment for future occupiers that meets policy requirements regarding transport and sustainability measures.

It is concluded that the proposed development should be recommended for approval subject to conditions.

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CIL

The Community Infrastructure Levy for this development is £13, 921.88

**RECOMMENDED GRANT subject to condition(s)**

**Time limit for commencement of development**

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

**Pre commencement condition(s)**

2. Prior to the commencement of development, including demolition, the developer shall record the building known as '22a Islington Road' and any ancillary structures and submit the record to the Local Planning Authority. The recording must to be carried out by an archaeologist or archaeological organisation approved by the Local Planning Authority and submitted to the Historic Environment Record (HER), the record should then be submitted to Bristol City Museum and a hard copy to Bristol Record Office.

Reason: To ensure that features of archaeological or architectural importance within a building are recorded before their destruction or concealment.

3. No development shall take place until an investigation and risk assessment, in addition to any assessment provided with the planning application, and has been completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site.

The contents of the scheme should be submitted to and be approved in writing by the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to:
  - o human health,
  - o property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
  - o adjoining land,
  - o groundwaters and surface waters,
  - o ecological systems,
  - o archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

Reason: To ensure that risks from land contamination is understood prior to works on site both during the construction phase to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to

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ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors

4. No development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been prepared, submitted to and been approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination is understood prior to works on site both during the construction phase to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

5. In the event that contamination is found, no development other than that required to be carried out as part of an approved scheme of remediation shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and be approved in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination both during the construction phase and to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

6. No development shall take place until a detailed part elevation and section at 1:20 scale showing all typical external treatments and building elements has been submitted and approved in writing by the Local Planning Authority. The development will be carried out in accordance with the approved details.

Reason: in order to ensure that the external appearance of the building is satisfactory, in accordance with quality expectations set out within the approved plans, and appropriate to the local context.

7. No development shall take place until all details of external materials have been submitted and approved in writing by the local planning authority. An agreed sample reference panel to include external facing materials and construction details shall be erected on site and approved in writing by the Local Planning Authority. The approved reference sample panel shall be retained on site until the completion of the development. The development will be carried out in accordance with the approved materials and panel.

Reason: in order to ensure that the external appearance of the building is satisfactory, in accordance with quality expectations set out within the approved plans, and appropriate to the local context.

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8. Prior to the commencement of the relevant part of the works hereby approved details relating to the photovoltaic panels (including the exact location, dimensions, design/technical specification and method of fixing) shall be submitted to and agreed in writing by the Local Planning Authority. The approved equipment shall be installed and operational prior to the first occupation of the use which they serve and retained as operational thereafter in perpetuity.

Reason: To ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions and to ensure that the external appearance of the building is satisfactory.

9. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition 2 and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition 3 which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 4.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

10. No development shall take place until a site specific Demolition Management Plan has been submitted to and approved in writing by the Council. The plan must demonstrate the adoption and use of the best practicable means to reduce the effects of noise, vibration, dust and site lighting to adjoining and neighbouring properties.

**Advice**

The Development Management Plan should also include but is not limited to reference to the following:

All works and ancillary operations which are audible at the site boundary, or at such other place as may be agreed with the Local Planning Authority, shall be carried out only between the following hours: 08 00 Hours and 18 00 Hours on Mondays to Fridays and 08 00 and 13 00 Hours on Saturdays and at no time on Sundays and Bank Holidays.

Mitigation measures as defined in BS 5528: Parts 1 and 2 : 2009 Noise and Vibration Control on

Procedures for any deviation of the agreed working hours.

Control measures for dust and other air-borne pollutants . This must also take into account the need to protect any local resident who may have a particular susceptibility to air-borne pollutants.

Measures for controlling the use of site lighting whether required for safe working or for security purposes.

Procedures for maintaining good public relations including complaint management, public consultation and liaison

Reason: In the interests of the amenities of surrounding occupiers during the construction of the development.

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**Pre occupation condition(s)**

11. Implementation/Installation of Refuse Storage and Recycling Facilities – Shown on Approved Plans

No building or use hereby permitted shall be occupied or use commenced until the refuse store and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans.

Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the adopted highway (including the footway), except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises; protect the general environment; prevent any obstruction to pedestrian movement and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

12. Completion and Maintenance of Cycle Provision - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the cycle parking provision shown on the approved plans has been completed, and thereafter, be kept free of obstruction and available for the parking of cycles only.

Reason: To ensure the provision and availability of adequate cycle parking.

**Post occupation management**

13. No further extensions

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) no extension or enlargement (including additions to roofs) shall be made to the dwellinghouse(s) hereby permitted, or any detached building erected, without the express permission in writing of the council.

Reason: The further extension of this (these) dwelling(s) or erection of detached building requires detailed consideration to safeguard the amenities of the surrounding area.

14. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) the following windows shall be glazed with obscure glass in accordance with the approved plans and shall be permanently maintained thereafter as obscure glazed:

- First floor windows in the north and east elevations

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

15. No Further Windows

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) no

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windows, other than those shown on the approved plans shall at any time be placed in the elevation of the building/extension hereby permitted without the grant of a separate planning permission from the Local Planning Authority.

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

16. The demolition works hereby permitted shall not be carried out otherwise than as part of the completion of development for which planning permission was granted on XX and such demolition and development shall be carried out without interruption and in complete accordance with the plans referred to in this consent and any subsequent approval of details.

Reason: To ensure the demolition is followed by immediate rebuilding and to maintain the character and appearance of the Conservation Area.

**List of approved plans**

17. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

6254 3 0001 B Site location plan, received 15 May 2019  
6254 3 0101 L Proposed ground floor plan, received 15 May 2019  
6254 3 0102 L Proposed first floor plan, received 15 May 2019  
6254 3 0104 J Proposed roof plan, received 15 May 2019  
6254 3 0301 O Proposed East elevation, received 15 May 2019  
6254 3 0302 K Proposed North elevation, received 5 July 2019  
6254 3 0303 K Proposed South elevation, received 15 May 2019  
6254 3 0304 J Proposed West elevation, received 15 May 2019  
6254 3 0201 J Proposed section A-A, received 15 May 2019  
6254 3 0202 G Proposed section B-B, received 15 May 2019  
6254 3 0203 H Proposed section C-C, received 15 May 2019

Reason: For the avoidance of doubt.

## **Supporting Documents**

### **6. 22A Islington Road**

1. Existing Site Plan
2. Existing Elevations
3. Proposed North Elevation
4. Proposed South Elevation
5. Proposed East Elevation
6. Proposed West Elevation
7. Proposed 3D Views
8. Proposed Ground Floor Plan
9. Proposed First Floor Plan
10. Proposed Roof Plan

# SITE PLAN: EXISTING

1:200 @ A3



## NOTES:

Heights shown are taken from an arbitrary datum +0.000 at the existing entrance floor level of 22A Islington Road.

## KEY:

- RWP: Existing rainwater pipe.
- - - Mains foul sewer. Existing connection shown in indicative location only.
- - - Surface water sewer: Malago Stormwater interceptor Refer to Wessex Water correspondence.
- - - Mains water supply. Existing connection shown in indicative location only.



Site photograph 01



Site photograph 02



Site photograph 03

## Revision Notes

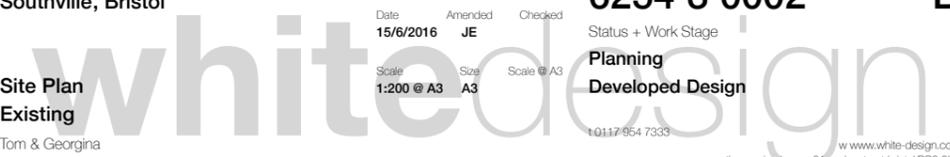
Rev.	Date	Notes	Revised by	Checked by
A	5/8/2014	Issued for Planning	TF	
B	15/6/2016	Issued for Planning.	JE	

Planning

**22A Islington Road**  
Southville, Bristol

Date	Drawn	Checked	Drawing No	Amendment
9/4/2014	TF	KH	6254 3 0002	B
15/6/2016	JE	JE	Status + Work Stage	
1:200 @ A3	A3	A3	Planning	
			Developed Design	

Site Plan  
Existing  
Tom & Georgina



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NOTES:

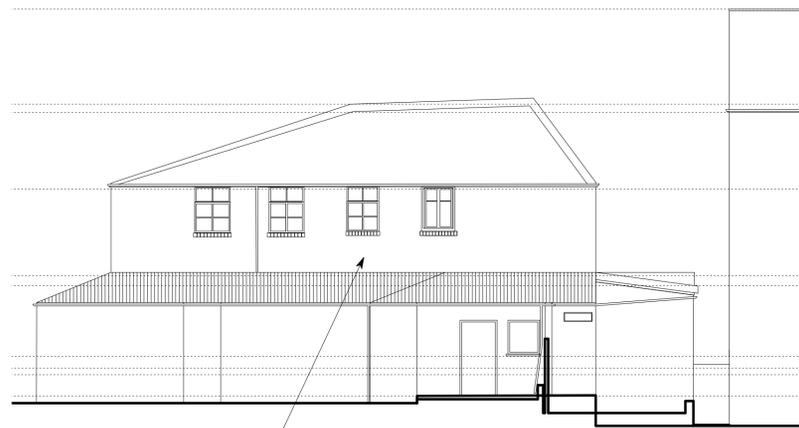
- This survey is intended as a base drawing for design proposals, and no liability for accuracy shall extend beyond the express purpose or project for which the drawing is intended.
- Under no circumstances should this drawing be scaled from for construction.
- All services and critical dimensions should be verified on site by the Contractor.
- Heights shown are from an arbitrary datum +0.000 at the existing entrance.



South Elevation 1:100 @ A1

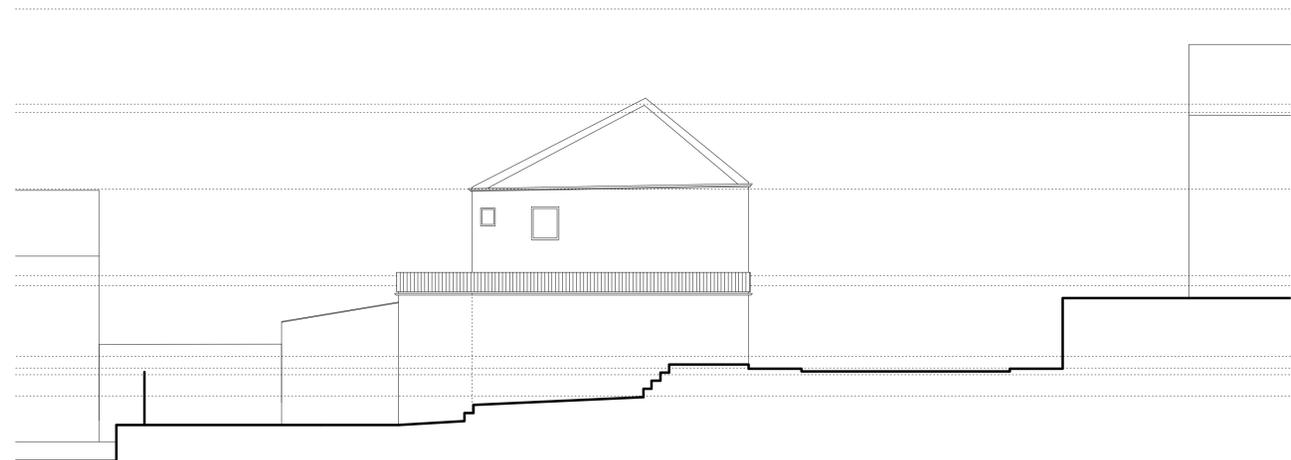


East Elevation 1:100 @ A1



North Elevation 1:100 @ A1

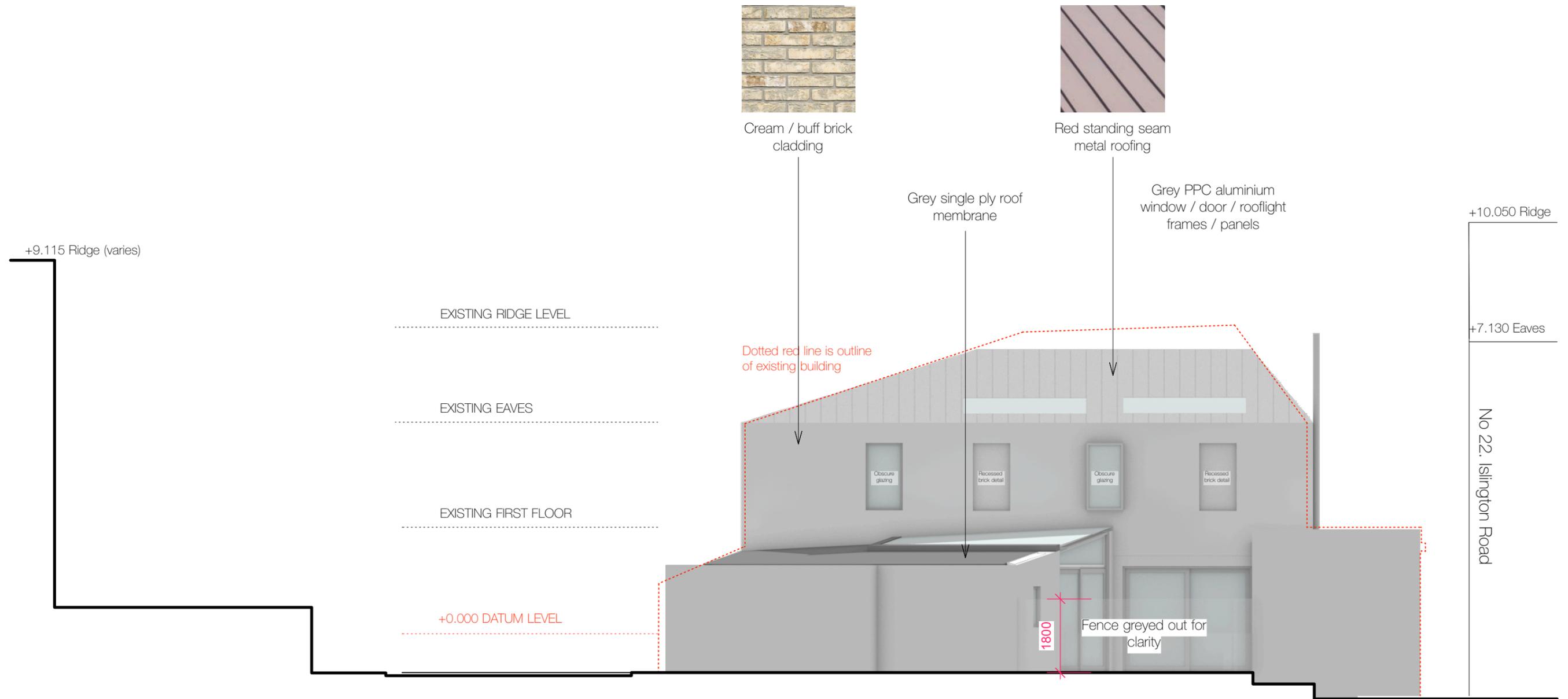
NOTE- There is a tree growing out of the building.



West Elevation 1:100 @ A1

KEY:

ABBREVIATIONS			
AFFL	above finish floor level	ID	internal door
AH	access hatch	IL	invert level
BH	beam height	MH	manhole
CH	ceiling height at centre	RAD	radiator
CL	cover level	RWP	rainwater pipe
CSU	ceiling slopes up	SH	sill height above floor level
DES	door entry system	SVP	soil vent pipe
DH	door height	UTR	unable to raise
ED	external door	VE	vent extract
FL	floor level	VP	vent pipe
HH	head height	VSH	vent sill height above local ground level
IC	inspection cover	W	window



North Elevation

Rev.	Date	Notes	Revised by	Checked by
G	11/7/2018	Roof form revised to include hipped gable at eastern end; fence height indicated; drawing number corrected to Stage 3.	JE	
H	12/4/2019	Materials updated.	JE	
I	23/4/2019	Materials updated.	JE	
J	1/5/2019	Render style updated; building outline note added.	JE	
K	5/7/2019	Correction to existing building outline.	JE	

Planning

22A Islington Road  
Southville, Bristol

**Proposed Elevations  
North Elevation**

Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
29/9/2015	JE	KH	6254 3 0302	K
5/7/2019	JE			
Scale	Sta	Scale @ A3	Status + Work Stage	
1:100 @ A3	A3		Planning Developed Design	

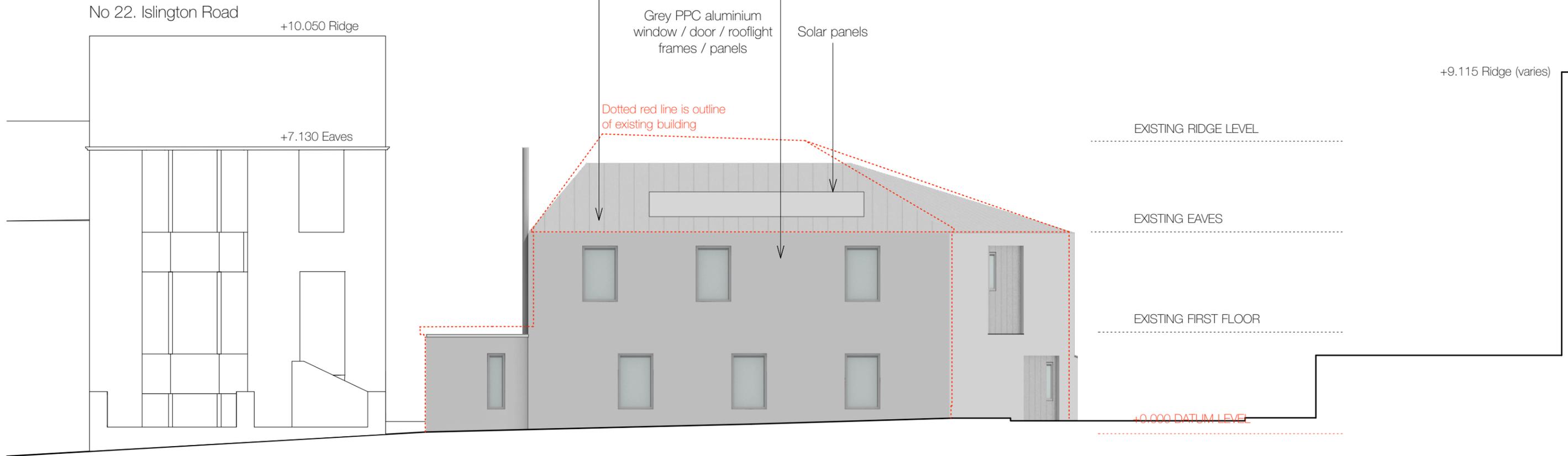
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Red standing seam metal roofing



Cream / buff brick cladding



South Elevation

Rev.	Date	Notes	Revised by	Checked by
G	8/3/2019	Design and materials updated - issued to client for comment.	JE	
H	8/3/2019	Design and materials updated - issued to client for comment.	JE	
I	12/4/2019	Materials updated.	JE	
J	23/4/2019	Materials updated; bedroom window omitted.	JE	
K	1/5/2019	Render style updated; building outline note added.	JE	

Planning

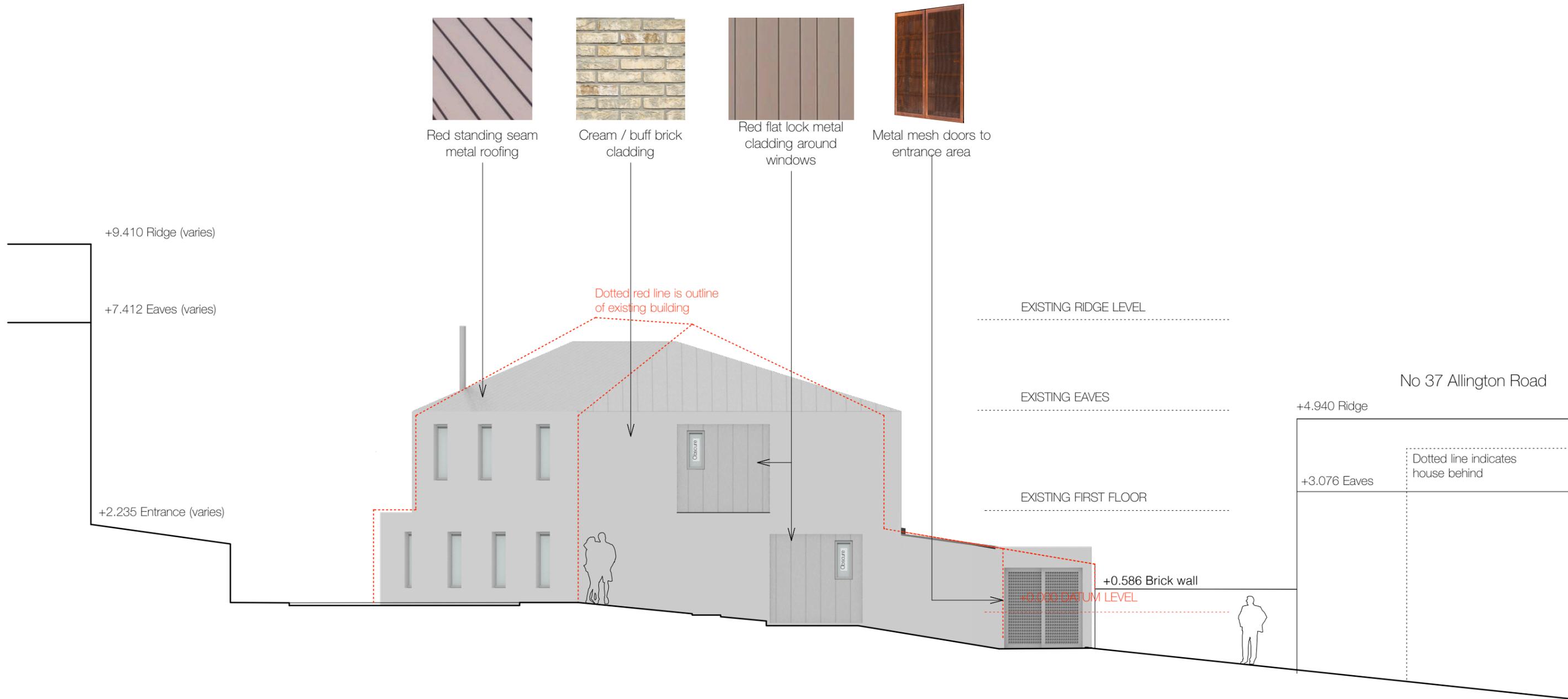
22A Islington Road  
Southville, Bristol

Proposed Elevations  
South Elevation

Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
13/6/2016	YH	JE	6254 3 0303	K
Date	Amended	Checked	Status + Work Stage	
1/5/2019	JE		Planning	
Scale @ A3	Sta	Scale @ A3	Developed Design	
1:100 @ A3	A3			

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East Elevation

Rev.	Date	Notes	Revised by	Checked by
K	12/3/2019	Dimensions added to panels.	JE	
L	31/3/2019	Materials updated.	JE	
M	12/4/2019	Flue added.	JE	
N	23/4/2019	Materials updated.	JE	
O	1/5/2019	Render style updated; building outline note added.	JE	

22A Islington Road  
Southville, Bristol

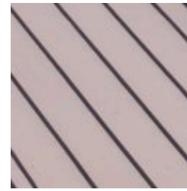
Proposed Elevations  
East Elevation

Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Planning

Date 8/3/2016	Drawn JE	Checked	Drawing No <b>6254 3 0301</b>	Amendment <b>0</b>
Date 1/5/2019	Amended JE	Checked	Status + Work Stage Planning	
Scale 1:100 @ A3	Size A3	Scale @ A3	Developed Design	

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Red standing seam metal roofing



Cream / buff brick cladding

Dotted red line is outline of existing building

EXISTING RIDGE LEVEL

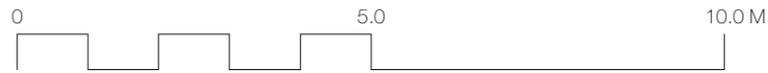
EXISTING EAVES

EXISTING FIRST FLOOR

+0.000 DATUM LEVEL

Existing fence to no. 22 Islington Road shown in blue; grey fence shown is proposed to site boundary

Rev.	Date	Notes	Revised by	Checked by
F	20/2/2018	Depth of elevation extended to show area at rear of proposed dwelling.	JE	
G	11/7/2018	Annotations added to fencing.	JE	
H	12/4/2019	Materials updated.	JE	
I	23/4/2019	Materials updated; filing category updated.	JE	
J	1/5/2019	Render style updated; building outline note added.	JE	



### West Elevation

Planning

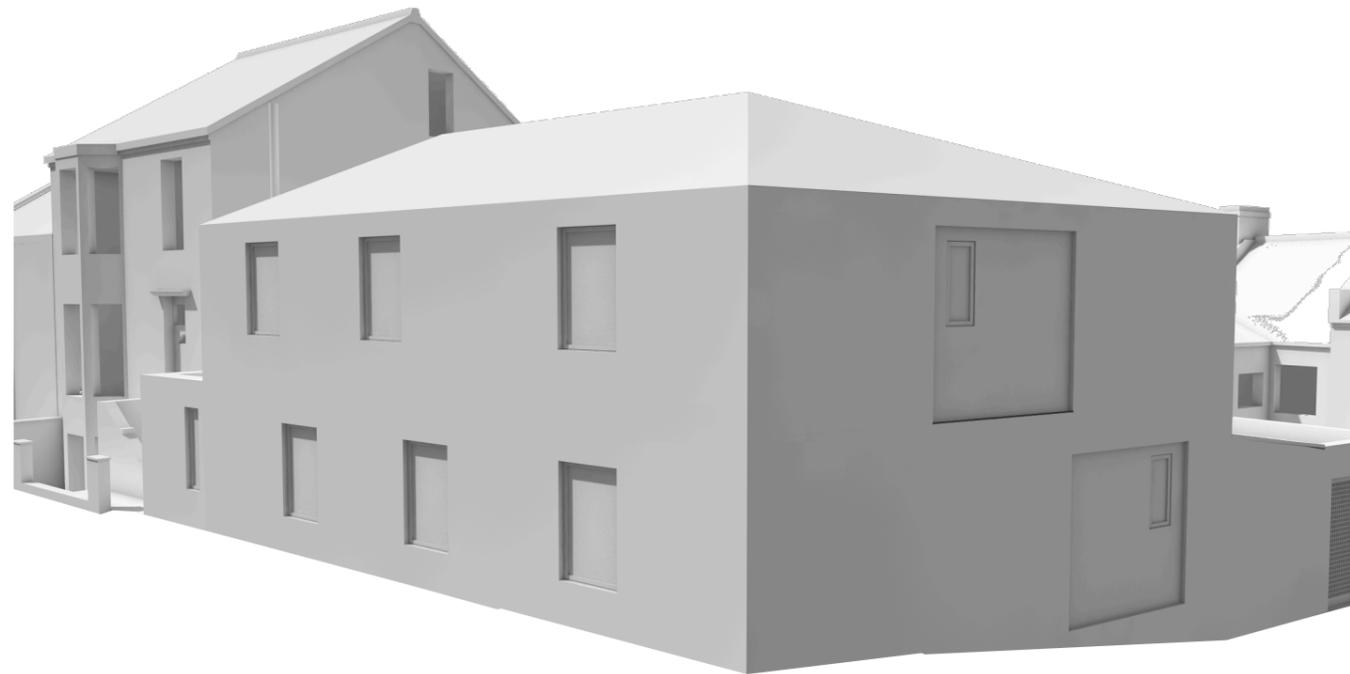
22A Islington Road  
Southville, Bristol

Proposed Elevations  
West Elevation

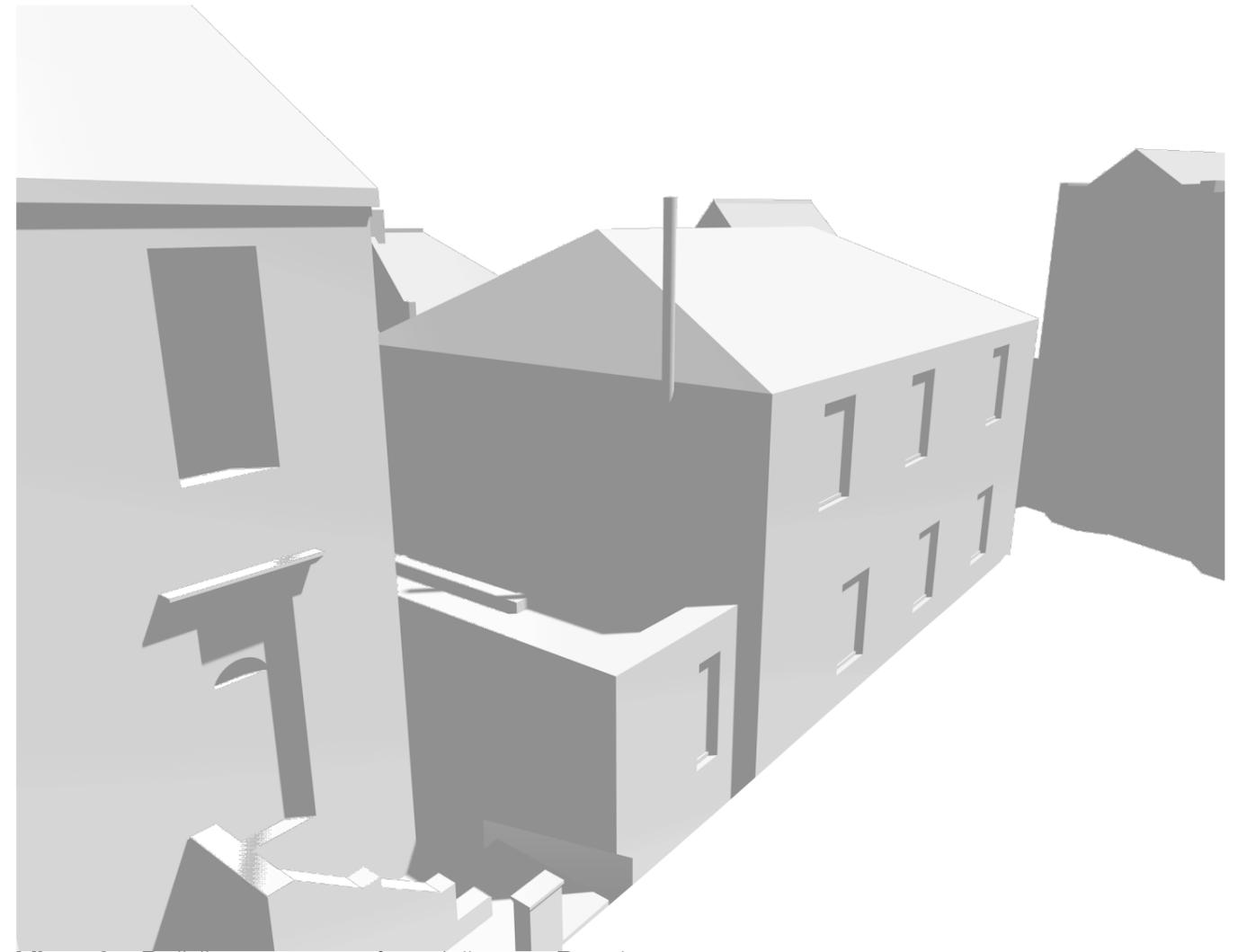
Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
13/6/2016	YH	JE	6254 3 0304	J
Date	Amended	Checked	Status + Work Stage	
1/5/2019	JE		Planning	
Scale	Sta	Scale @ A3	Developed Design	
1:100 @ A3	A3			

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**View 1** - Corner of Islington Road



**View 2** - Building entrance from Islington Road

Rev.	Date	Notes	Revised by	Checked by
D	21/3/2017	Updated views; issued for planning.	JE	
E	9/2/2018	Entrance area reconfigured; first floor wall moved to the east and first floor rooms adjusted to suit; studio repositioned to rear of the site with access via kitchen / dining area.	JE	
F	11/7/2018	Roof form revised to include hipped gable to eastern end.	JE	
G	12/4/2019	Form updated.	JE	
H	23/4/2019	Window omitted to south elevation.	JE	

Planning

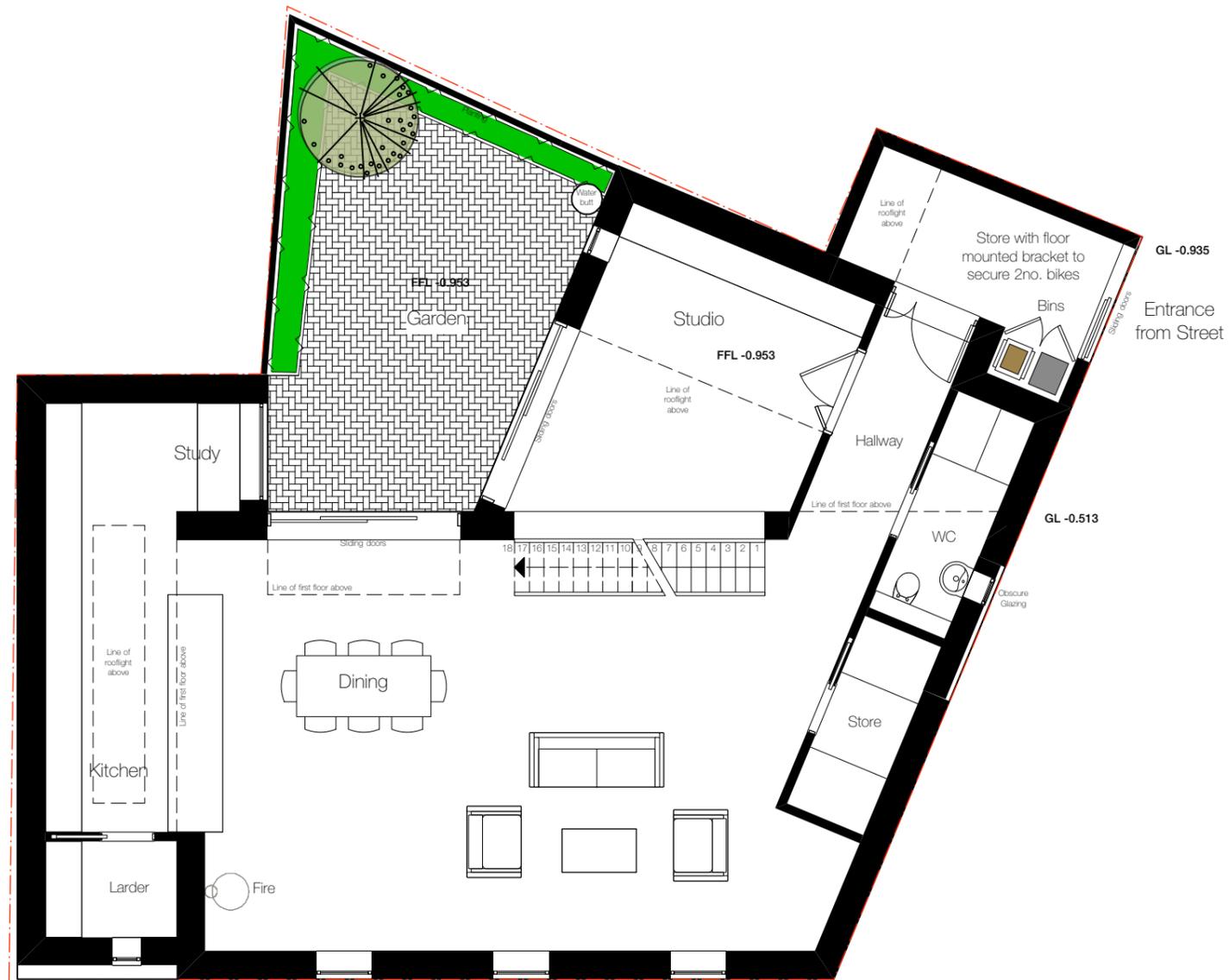
22A Islington Road  
Southville, Bristol

Proposed 3D Views  
External - Sheet 1

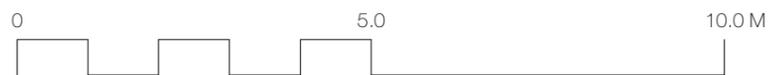
Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
17/12/2015	JE	KH	6254 3 0501	H
Date	Amended	Checked	Status + Work Stage	
23/4/2019	JE		Planning	
Scale	Size	Scale @ A3	Developed Design	
NTS	A3			

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Rev.	Date	Notes	Revised by	Checked by
H	18/4/2017	Minor revisions to suit survey information.	JE	
I	9/2/2018	Entrance area reconfigured; first floor wall moved to the east and first floor rooms adjusted to suit; studio repositioned to rear of the site with access via kitchen / dining area.	JE	
J	8/3/2019	Layout revised - issued to client for comment	JE	
K	12/4/2019	Rooflights added above kitchen and studio; fire position moved.	JE	
L	23/4/2019	Sliding doors updated.	JE	



Ground Floor Level - FFL -0.953

Planning

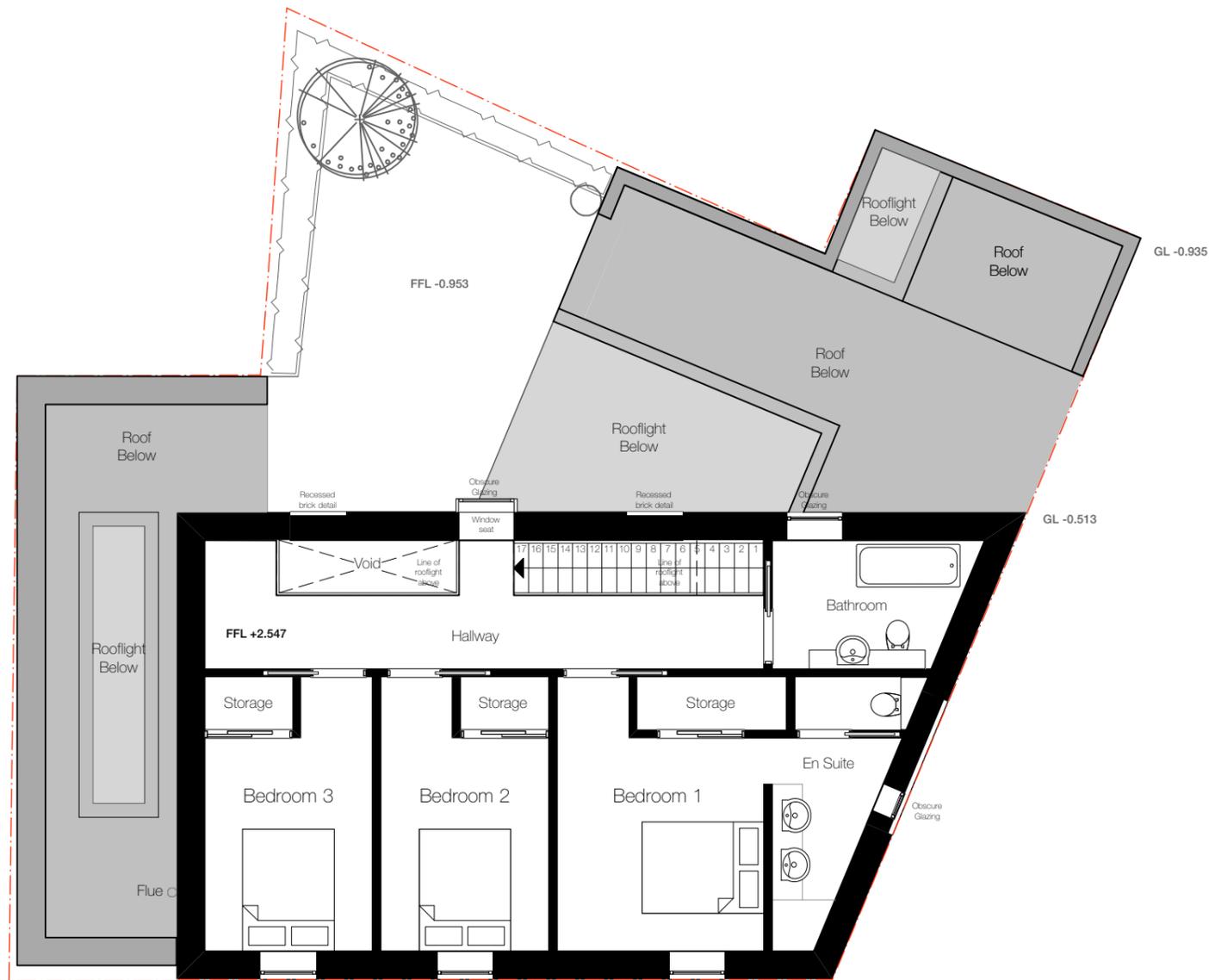
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Southville, Bristol

Proposed Ground Floor Plan

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Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
17/12/2015	JE	KH	6254 3 0101	L
Date	Amended	Checked	Status + Work Stage	
23/4/2019	JE		Planning	
Scale	Sta	Scale @ A3	Developed Design	
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First Floor Level - FFL +2.547

Rev.	Date	Notes	Revised by	Checked by
H	18/4/2017	Minor revisions to suit survey information.	JE	
I	9/2/2018	Entrance area reconfigured; first floor wall moved to the east and first floor rooms adjusted to suit; studio repositioned to rear of the site with access via kitchen / dining area.	JE	
J	8/3/2019	Layout revised - issued to client for comment.	JE	
K	12/4/2019	Rooflights added above studio and kitchen.	JE	
L	23/4/2019	Bedroom window omitted.	JE	

Planning

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Southville, Bristol

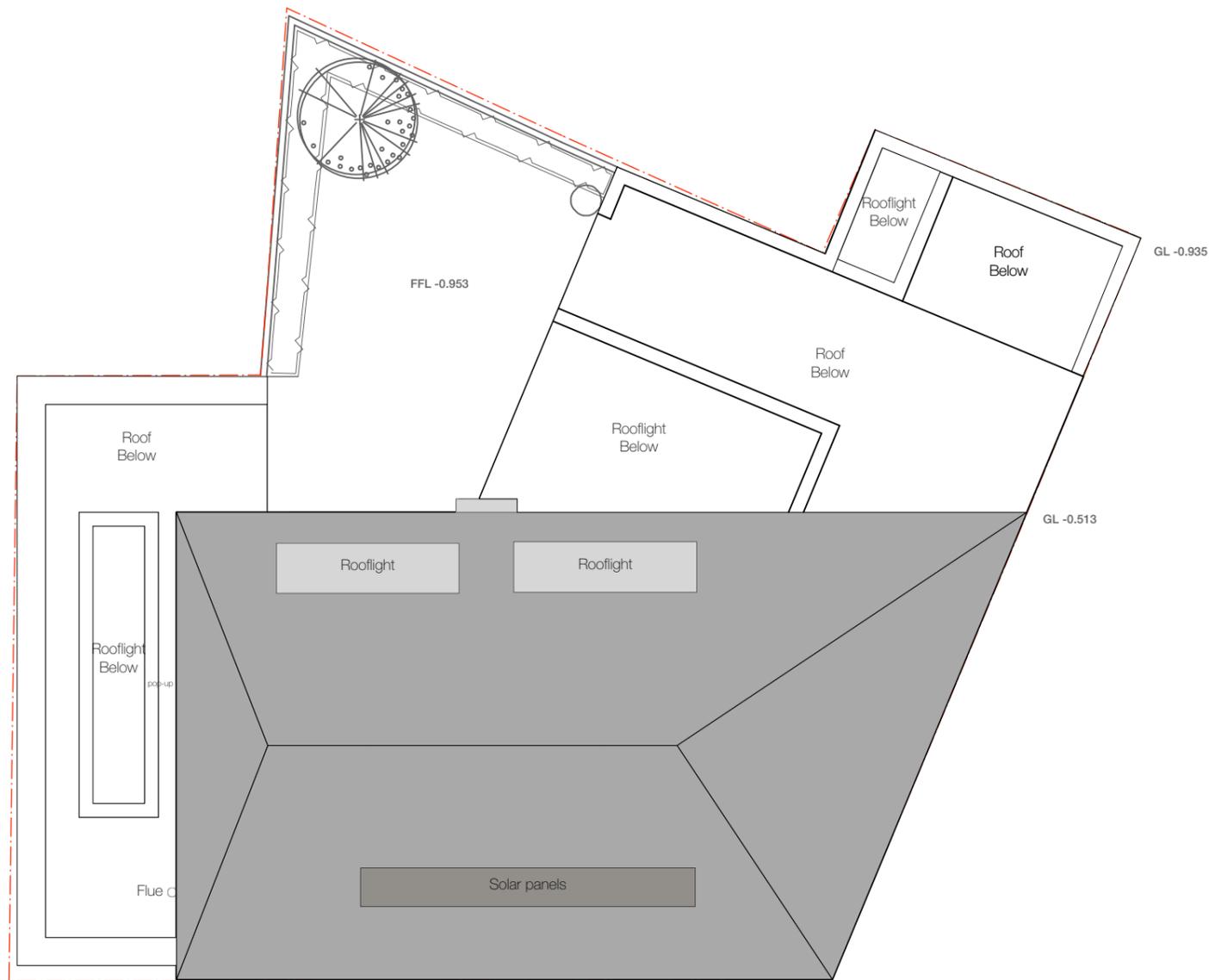
Proposed First Floor Plan

Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

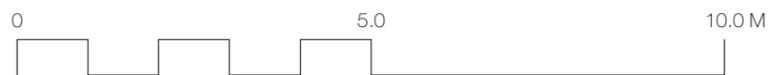
Date	Drawn	Checked	Drawing No	Amendment
18/12/2015	JE	KH	6254 3 0102	L
23/4/2019	JE	JE		

Status + Work Stage  
**Planning**  
**Developed Design**

1:100 @ A3 A3 Scale @ A3  
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Rev.	Date	Notes	Revised by	Checked by
F	21/3/2017	Rooflight positions revised; issued for planning.	JE	
G	18/4/2017	Minor revisions to suit survey information.	JE	
H	9/2/2018	Entrance area reconfigured; first floor wall moved to the east and first floor rooms adjusted to suit; studio repositioned to rear of the site with access via kitchen / dining area.	JE	
I	10/7/2018	Roof form revised to include hipped gable at eastern end.	JE	
J	12/4/2019	Rooflights added above studio and kitchen and above stair and void.	JE	



Roof Level

Planning

22A Islington Road  
Southville, Bristol

Proposed Roof Plan

Thomas Beldam & Georgina Bolton  
Check all dimensions on site. If in doubt ask.

Date	Drawn	Checked	Drawing No	Amendment
18/12/2015	JE	KH	6254 3 0104	J
Date	Amended	Checked	Status + Work Stage	
12/4/2019	JE		Planning	
Scale	Sta	Scale @ A3	Developed Design	
1:100 @ A3	A3			

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